

- Construction Notes:
- All concrete to be constructed with 3,500 psi (Min) - 28 day strength portland cement concrete.
  - All items to be removed during clearing and grubbing. Remove not only the above ground elements, but all underground elements as well. All excavated material shall become the property of the contractor unless otherwise directed by the Owner. All debris must be disposed of off site.
  - Prior to grading operations, contractor is to strip the first 6" of soil. Contractor shall proof roll the entire site and remove any unstable materials according to TxDOT Specifications. Select fill is to be used in replacing objectionable material.
  - Assure positive drainage across project site to the storm water structures.
  - Normal Domestic Wastewater is anticipated to be discharged from this development.
  - Potable Water Protection - All devices, appurtenances, appliances, and apparatus intended to serve some special function and that connects to the water supply system, shall be provided with protection against backflow and contamination of the water supply system. As noted in Texas Administrative code 30 TAC 290.47 - Appendix F.
  - Irrigation System - Potable water supply must be protected by either an atmospheric or pressure vacuum breaker, or testable double check valve assembly, and installed per City Ordinance.
  - Each utility contractor is responsible for positioning and trenching of service lines. Mark all lines with utility tape. Utility contractors are responsible for coordinating with paving contractor in placement and installation of any necessary utility conduit prior to subgrade preparation. Lines requiring slope control are to be installed first. All other lines not requiring slope control or elevation shall be installed deepest first. Each contractor is responsible for knowing final determination of installation order.
  - Materials and methods for pavement markings shall conform to TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges (current edition), with the following exceptions: 1) Type II marking materials need not be purchased from the Department, and 2) Glass beads may be omitted, but marking material shall be Type II paint-type material.
  - The Contractor shall be responsible for the containment and proper disposal of all liquid and solid waste associated with this project. The Contractor shall use all means necessary to prevent the occurrence of windblown litter from the project site.
  - Demolition/Construction Waste - Site is required to provide containment for waste prior to and during demolition/construction. Solid waste roll off boxes and/or metal dumpsters shall be supplied by City to permitted contractor(s) only.
  - Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.

- Solid Waste Notes:
- Before enclosure construction/modification begins contact Solid Waste, at (979)209-5900 for an on-site review.
  - If any changes are made to the enclosure plan during the construction phase please contact Solid Waste to review modifications.
  - Dumpster containment areas shall use 6" concrete, reinforced with #5 bars at 12" OCEW and the pad shall extend an additional 10' in front of the containment area.
  - The dumpster containment area shall be surrounded on three sides with a screen constructed to a height of six feet.
  - An all-weather access route (i.e. parking lots, loading docks, private roads, alleys, etc.) capable of supporting the container and the collection truck must be constructed and will be maintained and repaired at the business owner's expense.
  - The pad, screening and doors will be constructed and maintained at the property owner's expense

**NOTICE!**

The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

Contact Information:

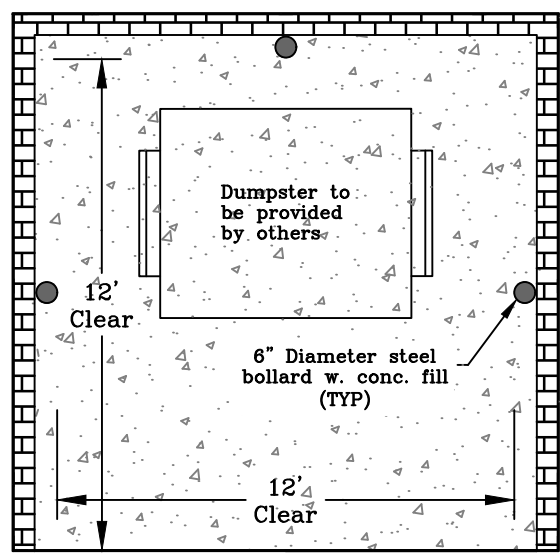
Texas One Call: 800-245-4545  
Lone Star One Call: 800-869-8344  
Texas Excavation Safety: 800-344-8377  
City of Bryan  
System (Digtest)  
Bryan Texas Utilities 979-821-5865  
Atmos Energy 979-774-2506  
Frontier 979-821-4300  
Suddenlink 979-846-2229

- Site Specific Notes:
- The owner of the property is Providence Church, 501 Industrial Blvd., Bryan, Texas 77802. The subject property is Providence Church, Block 1, Lot 1, Bryan, Brazos County, Texas.
  - The proposed single story building are Type IIIb 10,473 SF without sprinklers, PF=305.13' and Height=29'-6".
  - The subject property is zoned Agricultural Open (A-O).
  - All signage to be permitted separately.
  - Planned use of the site is Institutional, Church.
  - Fire flow demand is 2,250 gpm, based on the largest building, and can be split between the existing hydrant adjacent to the property and a proposed hydrant onsite which will provide the fire flow for this project.
  - A portion of this tract lies within a designated 100-yr floodplain according to the F.I.R.M. Maps Panel No. 48041C0215F, Revised Date, April 2, 2014.
  - All minimum building setbacks shall be in accordance with City of Bryan Ordinances.
  - Owner shall be responsible for the operation, repair, and maintenance of the private stormwater infrastructure facilities.

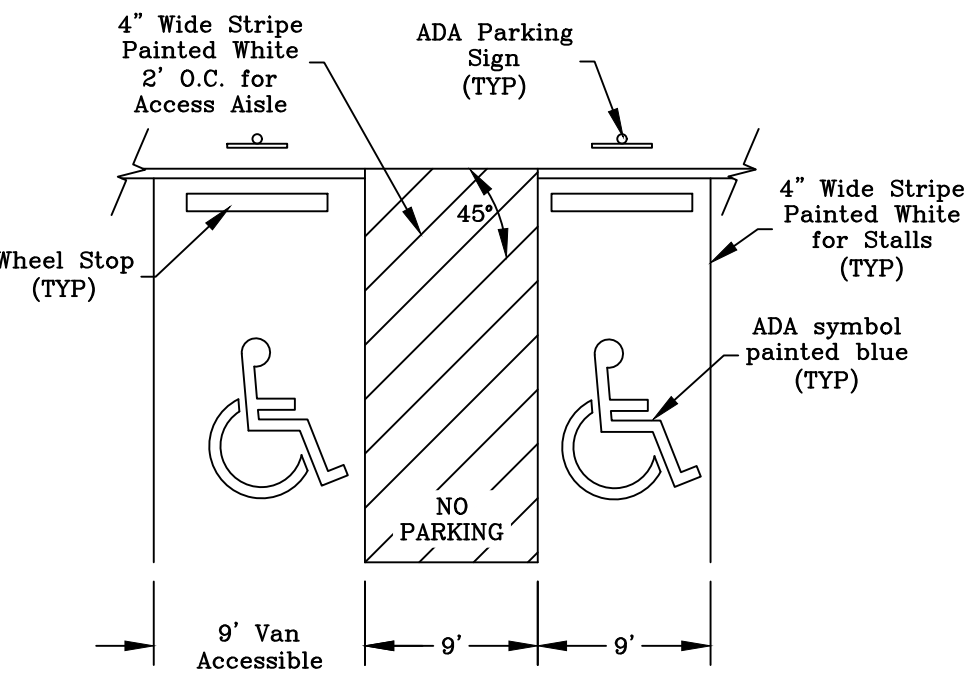
- Utility Notes:
- Private water line and private sanitary sewer line construction shall be in accordance with the plumbing code. Cleanouts shall be installed per plumbing code.
  - Private water and sewer line service materials to be in accordance with plumbing code.
  - Contractor shall coordinate conduit and/or line installation for telecommunication providers for the site.
  - Depth of the existing water and sewer lines to be verified by the contractor.
  - Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove, and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on the property adjacent to the PUE to access electric facilities.

Fire Lane Striping:

- All curbs and curb ends shall be painted red with 4" white lettering stating "FIRE LANE-NO PARKING-TOW AWAY ZONE". The phrases should be spaced 15' apart continuously. Fire Lane linework shown on this Site Plan is used to delineate the location of the fire lane for permitting purposes and is not intended to show required painted Fire Lane Striping.
- FIRE LANE ■ NO PARKING ■ TOW AWAY ZONE ■
- Note: Fire lane shall not be painted on Flat work/surface with use of Fire Lane Signage.

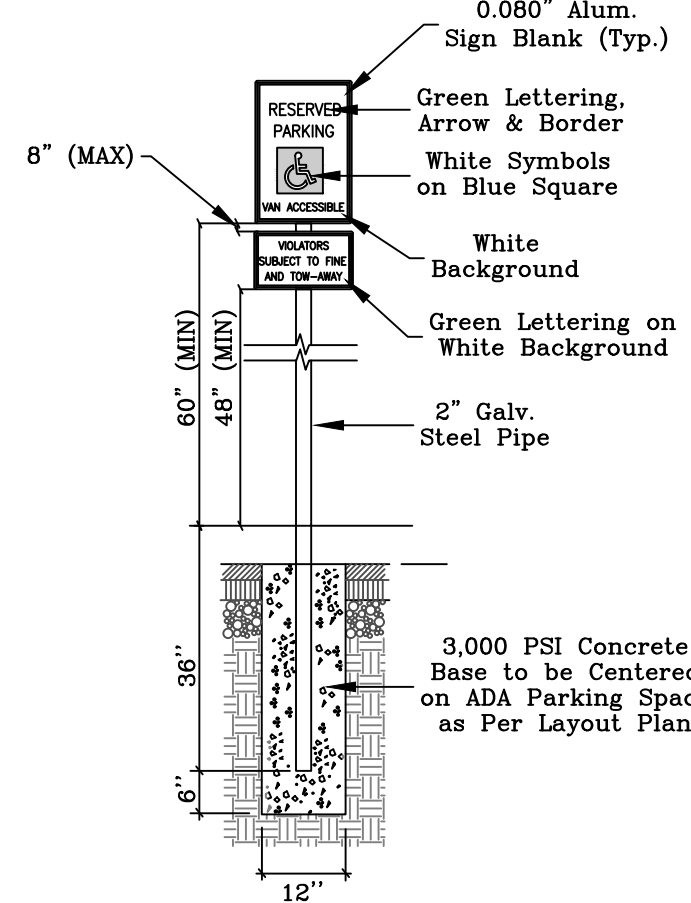


Typical Dumpster Enclosure - Plan  
N.T.S.

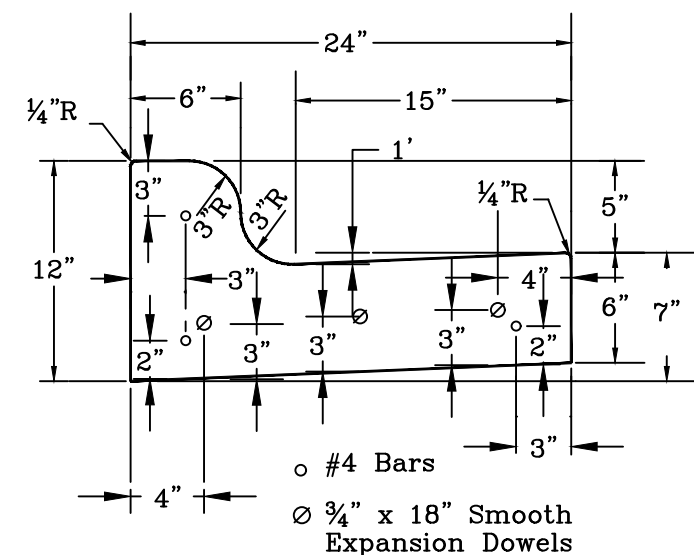


ADA Pavement Markings  
N.T.S.

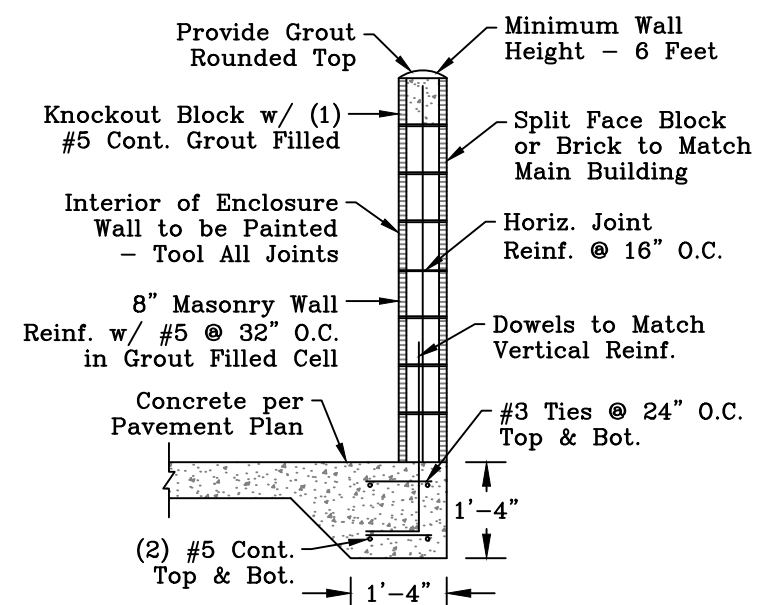
- Parking Analysis:
- Proposed Improvements:  
1 - 10,171 SF Church w/ 208 seats
- New Required Parking:  
70.1 Space per 3 seats  
70... Total Required
- Total Proposed Parking  
72... Straight in Parking  
3... ADA Parking  
75... Total Provided



ADA Parking Sign  
N.T.S.



Driveway Raised Curb Detail  
N.T.S.

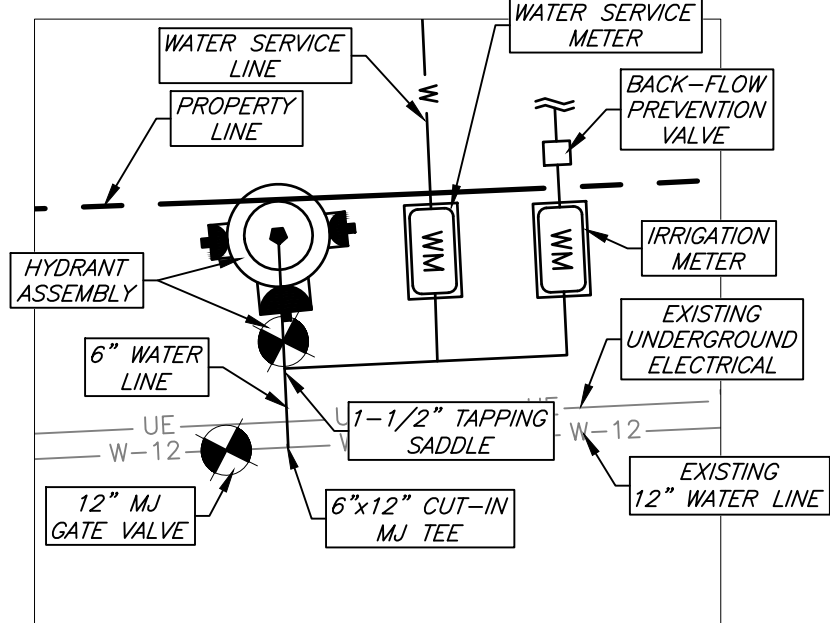
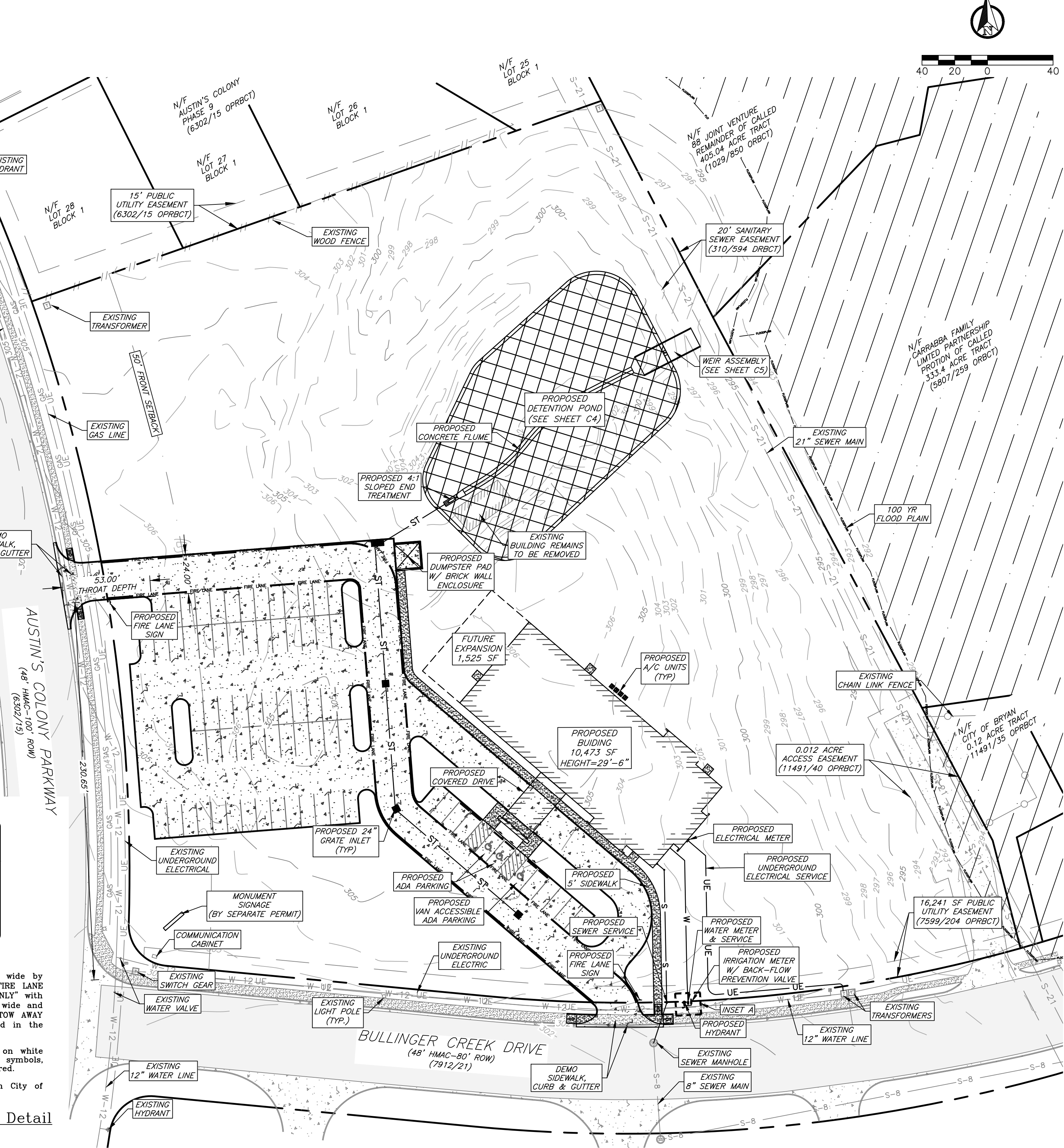


Dumpster Enclosure - Section  
N.T.S.

Notes:

- The sign shall be 12" wide by 18" in height stating "FIRE LANE DESIGNATED PARKING ONLY" with a companion sign 12" wide and 6" in height stating "TOW AWAY ZONE" and be mounted in the location shown.
- Sign shall be painted on white background with symbols, letters, and border in red.
- Sign shall comply with City of Bryan Ordinance 42-6.

Fire Lane Sign Detail  
N.T.S.



Inset A  
N.T.S.

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TBRE F-7451, TBRLS F-10339310

**J4 Engineering**

Preliminary Plans Only  
Not for Construction

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. (20100) and is not to be used for construction, bidding, or permitting purposes.

Released for Review

NEW PROVIDENCE CHURCH  
BRYAN, TEXAS  
AUSTIN COLONY

No. Date: Issue Notes:  
Drawn By:  
Checked By:  
Patterson Project No.: 2505  
Building Inventory No.:  
Plot Date:  
CAD File:  
Project No.:  
Sheet Title:

SITE PLAN  
Sheet No. C2  
of



NOTE:  
ALL POSTS NOT TO BE MOVED DURING CONSTRUCTION. SET A MIN. OF 1'-6"  
IN GROUND WITH CORNERS ADEQUATELY BRACED.

1. EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. CHAINLINK FENCING (MIN. 4'-0" HT.) SHALL BE INSTALLED AT THE DRIP LINE OF ALL TREES OR TREE GROUPINGS TO REMAIN. PARKING OF VEHICLES OR PERFORMING WORK WITHIN THESE AREAS OTHER THAN SHOWN ON THE PLAN, WILL NOT BE ALLOWED. THE TREE PROTECTION SHALL REMAIN DURING CONSTRUCTION. OTHER TREE PROTECTION MEASURES SHALL BE IN ACCORDANCE WITH THE CITY'S ORDINANCES.
2. DISPOSAL OF ANY WASTE MATERIAL, SUCH AS, BUT NOT LIMITED TO PAINT, ASPHALT, OIL, SOLVENTS, CONCRETE MORTAR, ETC. WITHIN THE CANOPY AREA OF THE EXISTING TREES SHALL NOT BE ALLOWED.
3. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
4. NO FILL OR EXCAVATION OF ANY NATURE SHALL OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED, UNLESS THERE IS A SPECIFIED WALK OR RETAINING WALL SHOWN ON THE GRADING PLAN.
5. NO MATERIALS SHALL BE STORED WITHIN THE DRIP LINE AREA OF A TREE TO BE PRESERVED.

1" EXPOSED

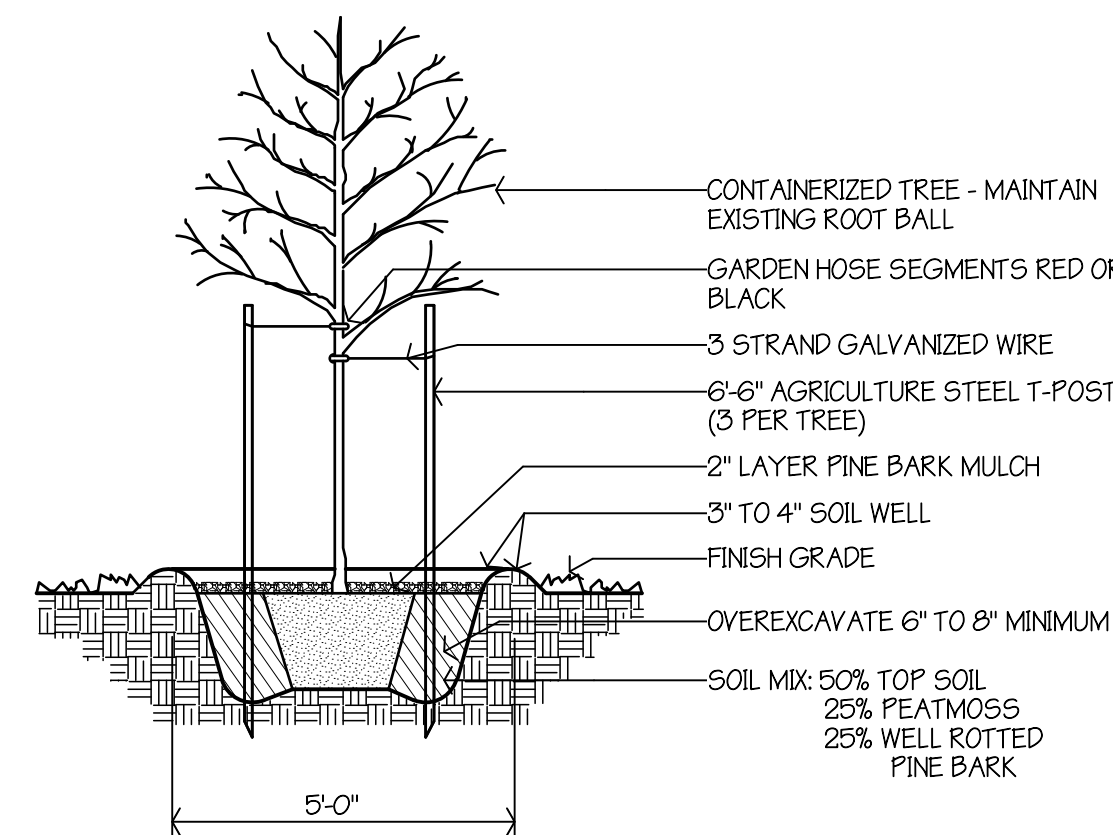
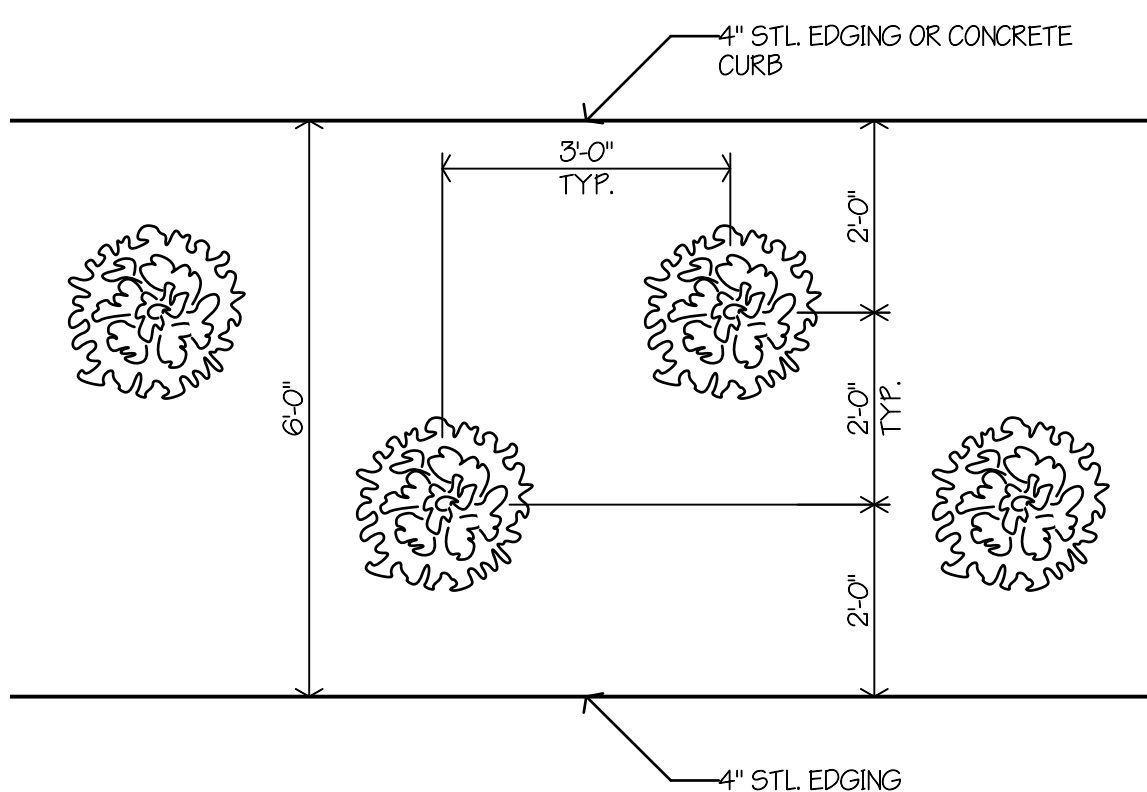
1/8" X 4" STEEL EDGING, BLACK

3" DEPTH ORGANIC MULCH, CONTINUOUS MULCH BED

15" DEPTH PLANT BED MIX AND FERTILIZER, REF: SPECS

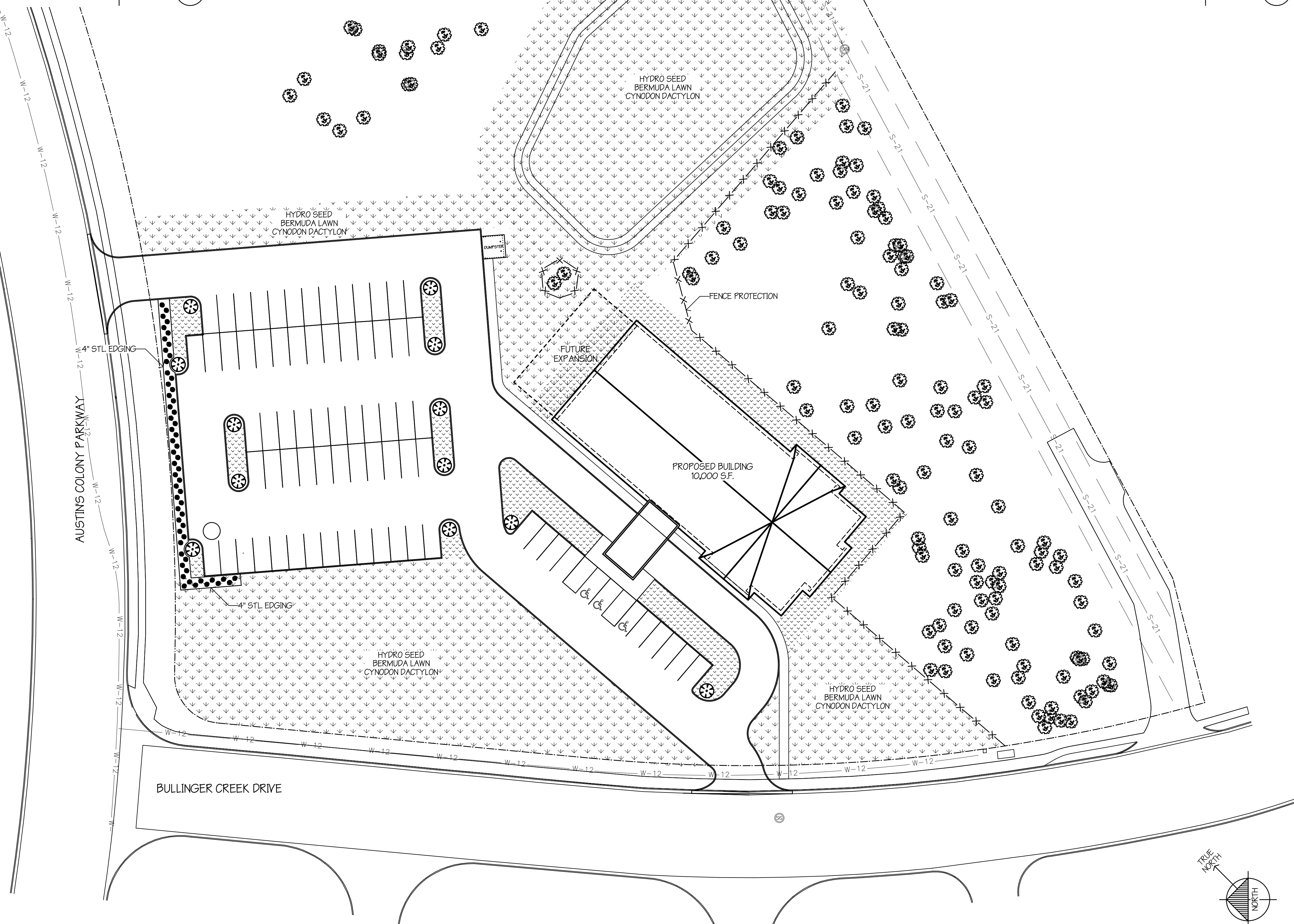
SPACING PER PLANS

## NO SCALE (19)


$$1/2'' = 1' - 0'' \quad (18)$$


$1/2''=1'-0''$  (17)

	$11/2'' = 1'' - 0''$	16
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- 1) 15% OF DEVELOPED AREA 123 ACRES (53,344 SQ FT) = 8,004 SF LANDSCAPING
- 2) NOT LESS THAN 50% OF REQUIRED AREA SHALL BE TREES - 4,002 SF REQD; 10,400 PROVIDED
- 3) NOT LESS THAN 50% OF TREES PLANTED SHALL BE CANOPY; 2,001 SF REQD; 2,400 PROVIDED
- 4) ALL PARKING ISLANDS MUST HAVE A CANOPY TREE.

NO SCALE (4)



1. VERIFY A STATIC WATER PRESSURE OF 55 P.S.I. MINIMUM. NOTIFY THE ARCHITECT IF THE PRESSURE READING IS LESS THAN 55 P.S.I.
2. OBTAIN ALL NECESSARY PERMITS AND COMPLY WITH ALL APPLICABLE IRRIGATION, PLUMBING, AND ELECTRICAL CODES.
3. DO NOT MACHINE TRENCH BENEATH THE DRIP LINE OF ANY SHADE TREE EXCEPT AT CURBS AND WALKS. HAND TRENCH OR TUNNEL IN ALL CASES WHERE THE PIPING CAN NOT BE RELOCATED AND STILL MAINTAIN THE INTENDED COVERAGE.
4. VERIFY A 2" WATER METER WHERE SHOWN ON THE SITE PLAN. NOTIFY THE ARCHITECT IF THE METER IS LESS THAN 2" I.P.S.
5. PROVIDE SKILLED LABOR AND A COMPETENT SUPERINTENDENT FOR ALL WORK.
6. INSTALL SLEEVES PRIOR TO LAYING CONCRETE PAVING.
7. USE DBY DIRECT BURY SPLICE BY 3M FOR ALL WIRING CONNECTIONS

IRRIGATION NOTES

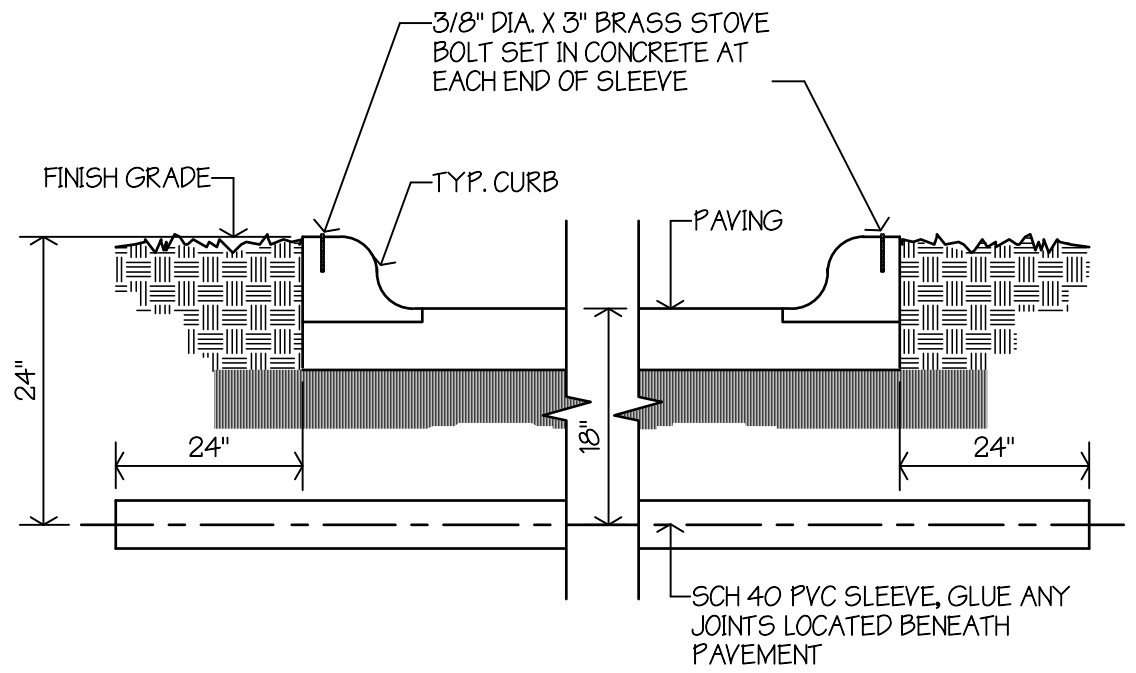
NO SCALE 20

- INDICATES AREA TO BE COVERED BY LANDSCAPE OF IRRIGATION SYSTEM
- 4" PVC SLEEVE, REF. 17/A12

- NOTE:
1. IRRIGATION SYSTEM TO BE DESIGNED BY A TEXAS-LICENSED LANDSCAPE IRRIGATOR. INSTALLED BY OTHERS AND LICENSED IN THE STATE OF TEXAS.
  2. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO OBTAIN INFORMATION REGARDING LOCAL CODES AND REQUIREMENTS FOR THE INSTALLATION OF THE IRRIGATION SYSTEM.
  3. BUBBLERS TO BE INSTALLED AT ALL NEW TREES.

GRAPHIC LEGEND

NO SCALE 4



SLEEVE DETAIL

1"=1'-0" 17

IRRIGATION PLAN



0' 7.5' 15' 30'

1"=30'-0" 1

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FRED A. PATTERSON  
REGISTRATION NUMBER: 16389

THESE DOCUMENTS ARE  
FOR INTERIM REVIEW AND  
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CONSTRUCTION PURPOSES.

NEW  
PROVIDENCE CHURCH

AUSTIN COLONY  
BRYAN, TEXAS

Rev.	Date	Issue Notes

Drawn By: JMH  
Checked By: EF  
Patterson Project No.: 2505  
Building Inventory No.:  
Plot Date: Sep 26, 2025  
CAD File: A12 Irrigation Plan 2505.dwg  
Project No.:  
Sheet Title:  
IRRIGATION PLAN

Sheet No.  
**A1.2**  
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